

MATIKO

SEC. 16, TWP. 28 N., RGE. 4 E., W.M.
SNOHOMISH COUNTY, WASHINGTON
CITY OF MUKILTEO

LEGAL DESCRIPTION

LEGAL DESCRIPTION AND OWNERS STATEMENT: Know all men by these presents that I, or we, the undersigned owner, or owners, in fee simple and encumbrances of the land hereby platted, declare that the subdivision as described by the following legal description has been made with the free consent and in accordance with the desires of the owner, or owners:

Richard C. Breckenridge & Pamela K. Breckenridge
RICHARD C. BRECKENRIDGE & PAMELA K. BRECKENRIDGE
Richard C. Breckenridge and Pamela K. Breckenridge
FIRST INTERSTATE BANK OF WASHINGTON, N.A.

PARCEL A:

That portion of TRACTS 156 and 157, and of vacated street lying between said TRACTS, WEST AND WHEELER'S SEAVIEW 5 ACRE TRACTS, according to the plat recorded in Volume 7 of Plats, pages 12 and 13, Records of Snohomish County, Washington, described as follows:

BEGINNING at the Northwest corner of said TRACT 157; thence S 88°38'06" E along the North line of said TRACTS 157 and 156 a distance of 449.62 feet to the corner of a tract of land conveyed to Snohomish County by a deed recorded under Auditor's File No. 7811220312 and shown on survey recorded in Volume 9 of surveys, pages 285 through 289 under Auditor's File No. 7812270291; thence along the boundary of said County tract the following courses and distances: S 01°21'54" W a distance of 480.00 feet; N 88°38'06" W a distance of 160.00 feet; S 01°21'54" W a distance of 130.00 feet; N 88°38'06" W a distance of 289.62 feet to the West line of said TRACT 157; thence leaving said boundary and running N 01°21'54" E along the West line of TRACT 157 a distance of 610 feet more or less to the POINT OF BEGINNING.

SITUATE in the County of Snohomish, State of Washington.

PARCEL B:

TRACTS 168 and 169, WEST AND WHEELER'S SEAVIEW 5 ACRE TRACTS, according to the plat recorded in Volume 7 of Plats, pages 12 and 13, Records of Snohomish County, Washington;

TOGETHER WITH that portion of vacated 96TH STREET S.W. that would attach by operation of law.

EASEMENT PROVISIONS

An easement is hereby reserved for and granted to Public Utility District No. 1 of Snohomish County, Mukilteo Water District, Olympus Terrace Sewer District, General Telephone Company of the Northwest, Washington Natural Gas Company, any cable television company, and their respective successors and assigns, under and upon the ten (10) feet parallel with and contiguous to the street frontage of all lots in which to install, lay, construct, renew, operate and maintain underground pipe, conduit, cable and wires with necessary facilities and other equipment for the purpose of serving this subdivision and other property with electric, telephone, gas, and utility service, together with the right to enter upon the lots at all times for the purposes herein stated. These easements entered upon for these purposes shall be restored as near as possible to their original condition. No lines or wires for transmission of electric current or for telephone use or cable television shall be placed or permitted to be placed upon any lot unless the same shall be underground or in conduit attached to building. Also, each lot shall be subject to an easement 5.0 feet in width, parallel with and adjacent to all interior lot lines for the purpose of utilities and drainage.

Easements which are shown on the face of the plat are reserved for maintenance operation or replacement as follows:

Drainage and roadway purposes: City of Mukilteo
Sanitary sewer: Olympus Terrace Sewer District
Water system: Mukilteo Water District

RECORDING CERTIFICATE 9106095009

Filed for Record at the request of Richard C. Breckenridge
this 7 day of June, A.D., 1991
at 42 minutes past 0'clock A. P. and recorded in Volume
13 of Plats, on page(s) 13-14, recorded in
Snohomish County, Washington.

Dana H. Williams
Snohomish County Auditor

Linda Russell
Deputy Snohomish County Auditor

TREASURER'S CERTIFICATE

CERTIFICATION OF PAYMENT OF TAXES AND ASSESSMENT:

I, Richard C. Breckenridge, Treasurer of Snohomish County, Washington, do hereby certify that all taxes and delinquent assessments on the above described tract have been fully paid up to and including the period of the 31st day of December, 1990.
Richard C. Breckenridge, Deputy Treasurer 6/7/91

APPROVALS

PUBLIC WORKS DIRECTOR APPROVAL: I, Gordon W. Johnson, P.E., Public Works Director for the City of Mukilteo, Washington, have reviewed the plat and have found it to comply with the provisions of the approved preliminary plat and the requirements and standards of the City's subdivision code, and therefore recommend approval on this 7th day of June, A.D., 1991.

Gordon W. Johnson
Public Works Director

CITY ENGINEER APPROVAL: I, Gordon W. Johnson, P.E., the City Engineer for the City of Mukilteo, Washington, have reviewed the plat and have found it to comply with the provisions of the approved preliminary plat and the requirements and standards of the City's subdivision code, and therefore recommend approval on this 7th day of June, A.D., 1991.

Gordon W. Johnson
City Engineer

PLANNING DIRECTOR: The Planning Commission has reviewed the final plat and certifies that the plat complies with the conditions set forth by the City Council on this 7th day of June, A.D., 1991.

Gordon W. Johnson
Planning Director

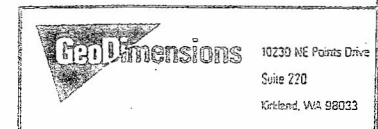
CITY COUNCIL APPROVAL: The City Council has reviewed the final plat for compliance with the approved preliminary plat requirements and standards of the City's subdivision ordinance, and required letters of recommendations and approve the subdivision of this 7th day of June, A.D., 1991.

Gordon W. Johnson
Mayor

Linda B. Miller
City Clerk

LAND SURVEYOR'S CERTIFICATE

I, a registered land surveyor, do hereby certify that the plat of 13 is based on actual survey and subdivision of Section 16, Township 28 North, Range 4 East, W.M., that the distances and courses and angles are shown thereon correctly and that proper monuments have been set and lot block corners staked on the ground as shown on the lot.



MATIKO

SEC. 16, TWP. 28 N., RGE. 4 E., W.M.
SNOHOMISH COUNTY, WASHINGTON
CITY OF MUKILTEO

DEDICATION

Know all men by these presents that I, or we, the undersigned, owner(s) in fee simple of the land hereby platted, hereby declare this plat and dedicate to the public forever, all roads, easements and ways shown hereon, except those designated as private; with the right to make all necessary slopes for cuts and fills, and the right to continue to drain said roads and ways over and across any lot or lots where water might take a natural course, and the original reasonable grading of the roads and ways shown hereon, and do waive all claims for damages against any government authority which may be occasioned to the adjacent land by the establishing construction, drainage, and maintenance of the road.

Following the original reasonable grading of the roads and ways shown hereon, no drainage waters on any lot or lots shall be diverted or blocked from their natural course so as to discharge upon any public rights-of-way or to hamper proper drainage. Any enclosing of drainage waters and in culverts of drains or rerouting thereof across any lots, as may be undertaken by or for the owner of any lot, shall be done by and at the expense of such owner.

IN WITNESS WHEREOF, we have set our hands and seals.

Richard C. Breckenridge
Richard C. Breckenridge
Pamela K. Breckenridge
Pamela K. Breckenridge

First Interstate Bank of Washington, N.A.
First Interstate Bank of Washington, N.A.

ACKNOWLEDGEMENTS

State of Washington)
King Co. ss.
County of Snohomish)

This is to certify that on this 7th day of June, A.D., 1991, before me the undersigned, a Notary Public, personally appeared Kathleen A. Chhabra to me known to be the person(s) who executed the foregoing dedication and acknowledged to me that she signed and sealed the same as her free and voluntary act and deed for the uses and purposes mentioned.

WITNESS my hand and official seal the day and year last above written.

My Commission Expires: 3/1/91

Shalini Chhabra
NOTARY PUBLIC in and for the State
of Washington, residing at: Lynnwood



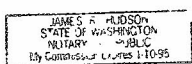
State of Washington)
King Co. ss.
County of Snohomish)

This is to certify that on this 7 day of June, A.D., 1991, before me the undersigned, a Notary Public, personally appeared James R. Hudson to me known to be the person(s) who executed the foregoing dedication and acknowledged to me that they signed and sealed the same as their free and voluntary act and deed for the uses and purposes mentioned.

WITNESS my hand and official seal the day and year last above written.

My Commission Expires: 10/0/95

James R. Hudson
NOTARY PUBLIC in and for the State
of Washington, residing at: Bothell



NOTES

- 1) A commercially warranted fire alarm system shall be installed in each residence located beyond six hundred feet from the westerly boundary of the subdivision. The central fire alarm system shall be installed in the residence and in operating condition prior to occupancy.
- 2) The Homeowners Association shall permit the City, in emergency situations, to enter any of the lots in order to make necessary repairs to storm drainage improvements. The Homeowners Association shall be billed by the City for labor and material costs associated with these emergency repairs.
- 3) The storm water generated by all new construction shall be collected and disposed of in a manner subject to the approval of the City Engineer for all lots created.
- 4) Building setback lines shown are approximate and may not be relied upon as meeting the setback requirements of the City of Mukilteo. Setback lines shall be verified with the City of Mukilteo prior to construction.
- 5) Development of the lots within this plat shall conform to the recommendations in the geotechnical report prepared by Terra Associates, Inc., dated August 31, 1989. Where the conditions of plat approval conflict with the recommendations in the geotechnical report, the conditions shall prevail.
- 6) There shall be no clearing, excavation, or fill within the Native Growth Protection Areas shown on the face of this plat, with the exception of required utility installation, removal of dangerous trees, topping of trees, and removal of obstructions of drainage courses.
- 7) The grading and tree location plan (sheet 4 of 14) of the approved construction plans of the city of Mukilteo dated 1-16-90 shall be incorporated herein by this reference.



GeoDimensions

16230 NE Points Drive

Suite 220

Kirkland, WA 98033

MATIKO

SEC. 16, TWP. 28 N., RGE. 4 E., W.M.
SNOHOMISH COUNTY, WASHINGTON
CITY OF MUKILTEO

*1. There shall be no above-grade structures, or other obstructions, including fences, placed within 15 feet of the street curb on Lots 1-6. There shall be no parking of vehicles within this area.

SCALE: 1" = 50'

0 25 50 75 100
12-7-70

BASIS OF BEARING: W. LINE, N.W. 1/4, S.W. 1/4,
SEC. 16-28-4 PER
CHEVRON R.O.S. BK. 8
PAGES 285-287

LEGEND:

○ = SET REBAR w/ CAP & PROPERTY COR.
L.S. #15025

⊙ = FOUND MON. IN CASE AS NOTED

* = SET CONCRETE MON IN CASE

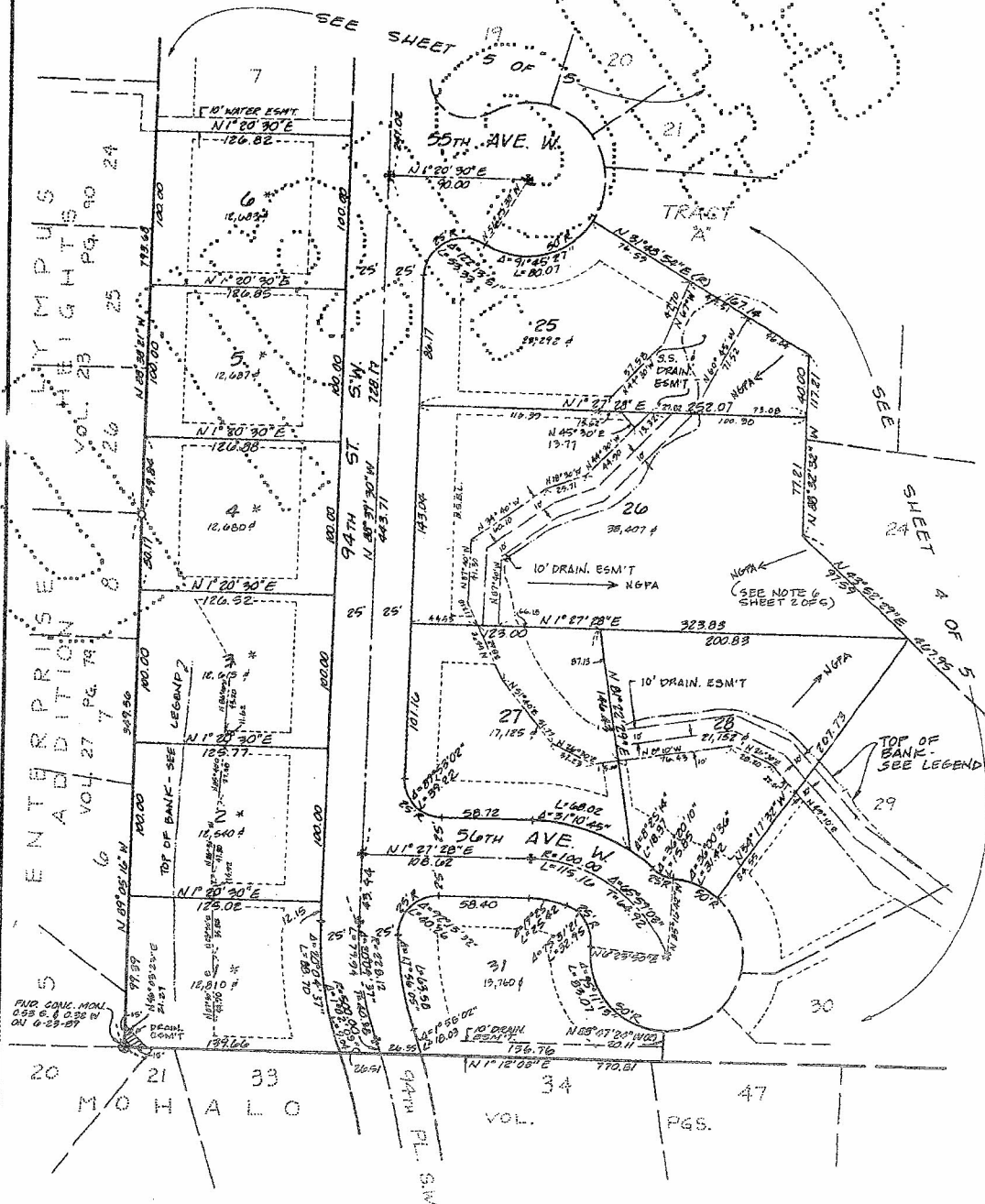
SETBACK REQUIREMENTS:

FRONT YARD: 25'
REAR YARD: 25'
SIDE YARD: 50' MIN. - 15' MINIMUM - 5'
COR. LOT SIDE: 20'

TOP OF BANK LEGEND

— GEODIMENSIONS
RE SURVEY APRIL '91

--- BARGHAUSEN TOPO
DECEMBER '87



GeoDimensions

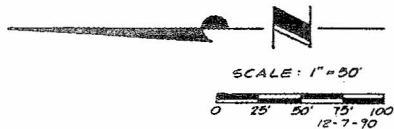
10230 NE Points Drive
Suite 220
Kirkland, WA 98033

SHEET 3 OF 5

9106095004 89-5013

MATIKO

SEC. 16, TWP. 28 N., RGE. 4 E., W.M.
SNOHOMISH COUNTY, WASHINGTON
CITY OF MUKILTEO



BASIS OF BEARING: W. LINE, N.W. 1/4, S.W. 1/4,
SEC. 16-28-4 PER
CHRYN R.O.S. BK. 8
PAGES 283-287

SEE SHEET 5 OF 5

55TH AVE. W.
N 1° 00' 30" E 70.00
N 1° 00' 30" E 70.00
N 1° 00' 30" E 70.00

TRACT 4
20,649 ±

PRIVATE FOR THE INCL. LOT
VAL. 27.24 ± STORM WATER
DRAINAGE

15' DRAIN AND SAN. SEWER ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

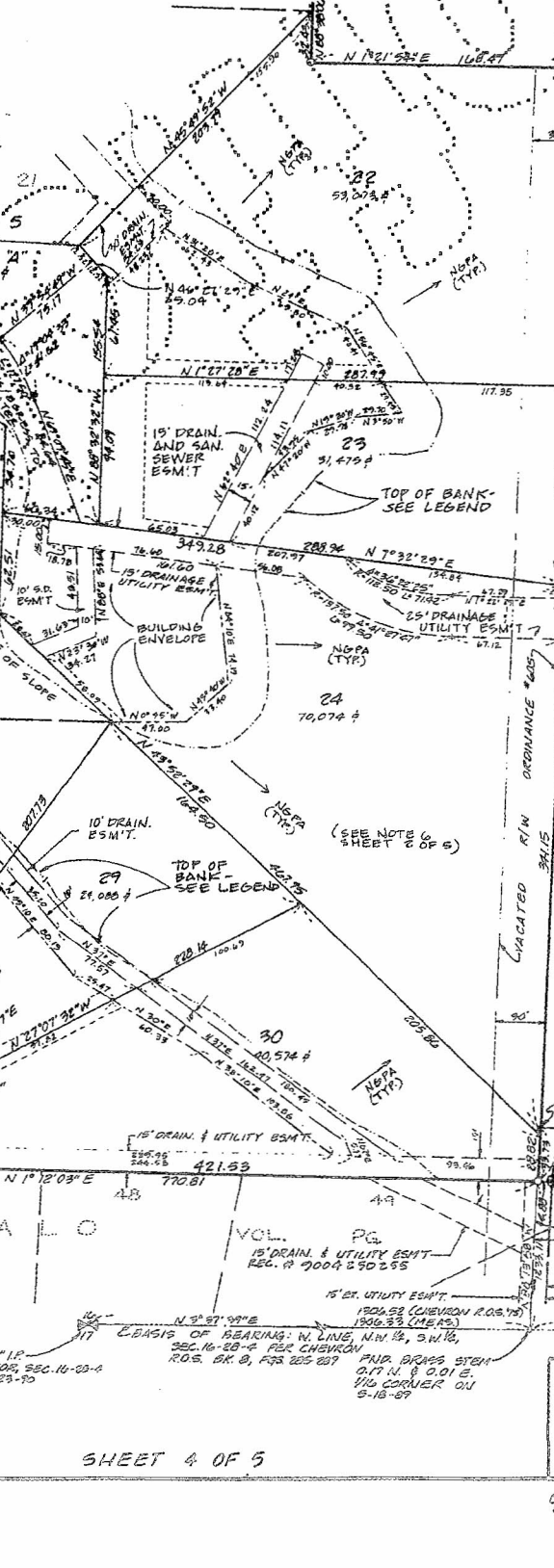
15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T

15' DRAINAGE UTILITY ESM'T



*TRACT A TO BE OWNED BY
MATIKO HOMEOWNERS
ASSOCIATION.

EXISTING OFFSITE ESM'T'S
7006260256 - OLYMPIUS
TERRACE SAN. SEWER DIST.
7006080150 - STORM
ESM'T SNOHOMISH CO.

TOP OF BANK LEGEND

— GEODIMENSIONS
RESURVEY
APRIL 1991
— BARSHAUSEN
TOPD DEC. 1987



LEGEND:
○ SET REBAR 1/4" CAP & PROPERTY COR.
L.S. #15025
● POUND MON. IN CASE AS NOTED
● SET CONCRETE MON. IN CASE

BACK REQUIREMENTS:

FRONT YARD: 25'
REAR YARD: 25'
SIDE YARD: SUM = 15' MINIMUM = 5'
TYP. 7.5'
COR. LOT SIDE: 20'

SHEET 4 OF 5

GeoDimensions 10230 NE Points Drive
Suite 220
Kirkland, WA 98033

9106075004 89-5013

MATIKO

SEC. 16, TWP. 28 N., RGE. 4 E., W.M.
SNOHOMISH COUNTY, WASHINGTON
CITY OF MUKILTEO



SCALE: 1"=80'



BASIS OF BEARING: N. LINE, N.W. 1/4, S.W. 1/4,
SEC. 16-28-4 PER
SHEED, R.O.S. BK. 8
PAGES 285-287

LEGEND:

○ SET REBAR w/ CAP & PROPERTY COR.
L.S. #15025

⊕ FOUND MON. IN CASE AS NOTED

⊕ SET CONCRETE MON. IN CASE

SETBACK REQUIREMENTS:

FRONT YARD: 25'
REAR YARD: 25'
SIDE YARD: 30' MINIMUM 5'
TYP. 75'
COR. LOT SIDE: 20'

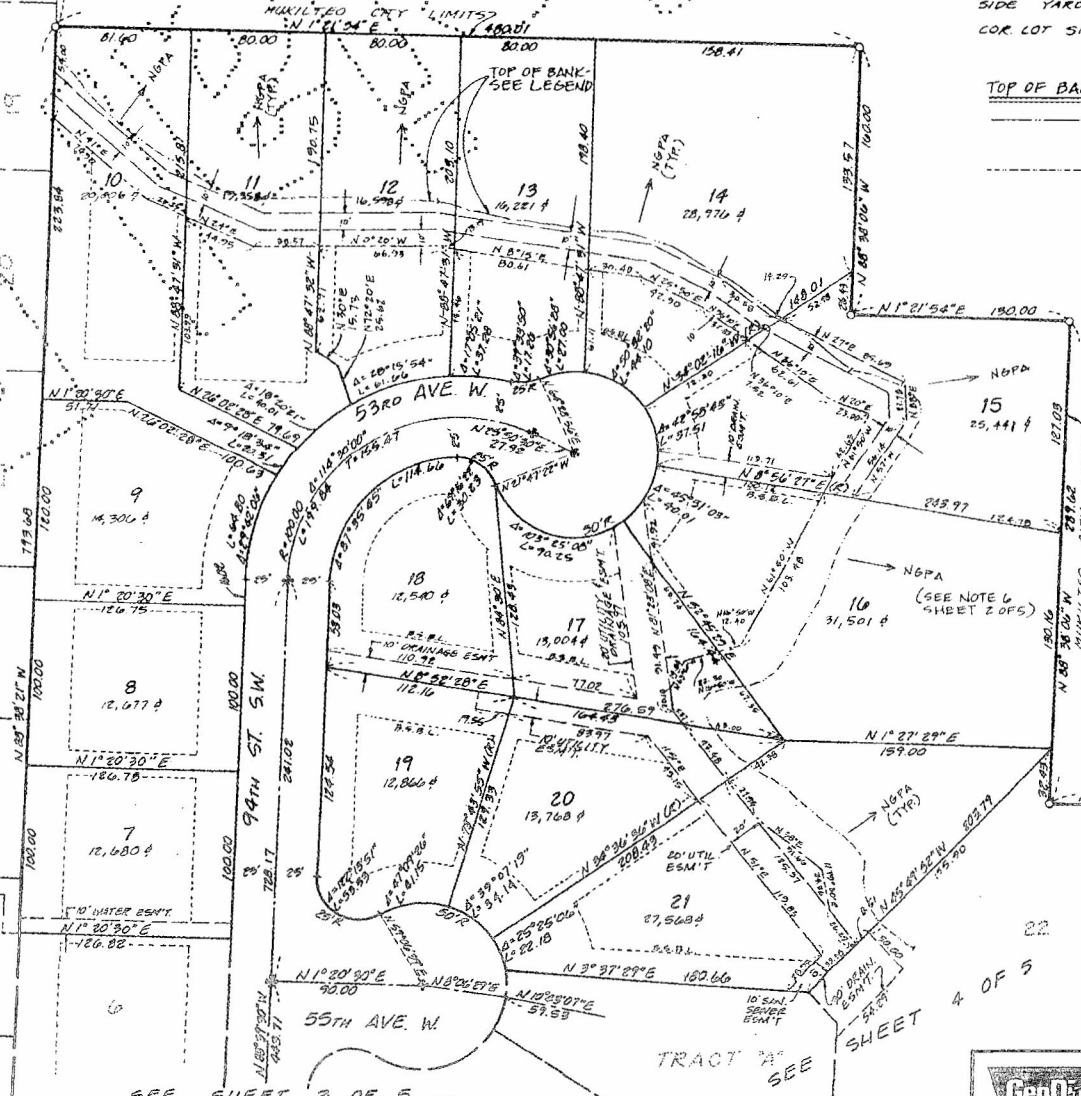
TOP OF BANK LEGEND

— GEODIMENSIONS
RE SURVEY
APRIL 1991
— BARGHAUSEN
TOPO DEC. 1987

AND COR. MON.
9-27-90

OLYMPUS HEIGHTS
VOL. 23
P. 49
21

22
23
24



SEE SHEET 3 OF 5 25

TRACT A SEE

SHEET 4 OF 5

SHEET 5 OF 5



GeoDimensions 10230 NE Points Drive
Suite 220
Bellevue, WA 98003

9106075004

89-5013