

Comal County

FILED
PRESIDIO TITLE

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WITNESSETH

WHEREAS, Declarant, pursuant to the provisions of Section 1(a) of Article XI of the Umbrella Declaration enabled "Annexation of Additional Property," now wishes to annex the Additional Property within the scope and purview of the Umbrella Declaration and wishes to subject the Additional Property to the covenants conditions and restrictions contained in the Umbrella Declaration, subject to the provisions contained in this Supplemental Declaration.

NOW, THEREFORE, Declarant hereby adopts the following Supplemental Declaration which is for the purpose of annexing the Additional Property to the scope and purview of the Umbrella Declaration. This Supplemental Declaration shall run with the Additional Property and shall bind all parties having or acquiring any right, title or interest therein or any part thereof, their heirs or successors in title and assigns, and shall inure to the benefit of each owner thereof.

Except as otherwise defined herein, each capitalized term used in this Supplemental Declaration shall have the meaning ascribed to such term in the Umbrella Declaration or this Supplemental Declaration, whichever is applicable.

DECLARATION

Declarant hereby makes the following declarations in accordance with the requirements of Section 1(a) of Article XI of the Umbrella Declaration:

1. The Owner of the Additional Property is the Declarant.
2. The recorded plat of the Additional Property identifies as and to the extent applicable (i) those portions of the Additional Property that are dedicated and/or conveyed to the public or any governmental or quasi-governmental authority for street right-of-way or utility facility purposes, (ii) those portions that are to comprise Lots for construction of Living Units and related improvements, and (iii) those portions, if any, that comprise Common Properties (those being the only three permitted uses for the Additional Property).
3. A mutual grant and reservation of rights and easements of the Owners of any Lots comprising the Property and to the existing and hereinbefore or hereinafter annexed Common Properties and Common Facilities is hereby made.
4. The Additional Property is being added or annexed in accordance with and subject to the provisions of the Umbrella Declaration.
5. The Additional Property shall be developed, held, used, sold and conveyed in accordance with and subject to the provisions of the Umbrella Declaration as hereafter amended.
6. All of the provisions of the Umbrella Declaration shall apply to the Additional Property with the same force and effect as if the Additional Property were originally included in the Umbrella Declaration as part of the Initial Property.
7. A vendor's lien is herein reserved in favor of the Association, in the same manner as provided in the applicable sections of the Umbrella Declaration, to secure collection of the Assessments provided for, authorized or contemplated in the Umbrella Declaration.

8. From and after the recording of this Supplemental Declaration, all Assessments collected by the Association from the Owners in the Additional Property shall be commingled with the Assessments collected from all other Owners so that there shall be a common maintenance fund for the Property.
9. Nothing in this Supplemental Declaration shall be construed to represent or imply that Declarant, its successors or assigns, are under any obligation to add or annex any additional land to the Property.

IN WITNESS WHEREOF, this Amendment is executed this the 30th day of September, 2006.

DECLARANT:

196 SCENIC HILLS, LTD.
a Texas limited partnership

By: Great America Companies, Inc.,
Managing General Partner

By:


Israel Fogiel, President

By: Integrated Asset Management, Inc.
General Partner

By:

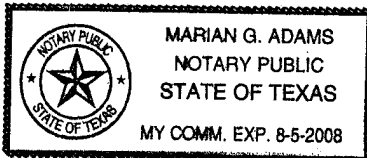

J.L. Guerra, Jr., President

STATE OF TEXAS

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COUNTY OF BEXAR

This instrument was acknowledged before me on the 25th day of September, 2006, by Israel Fogiel, President of GA Companies, LLC, a Texas Limited Liability Company, General Partner of GAC Management Co, Ltd., a Texas Limited Partnership, General Partner of 196 Scenic Hills, Ltd., a Texas limited partnership, on behalf of said entities.



Marian G. Adams
Notary Public in and for the State of Texas

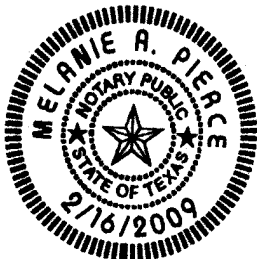
Commission Expiration Date: 8/5/08

STATE OF TEXAS

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COUNTY OF BEXAR

This instrument was acknowledged before me on the 2nd day of October, 2006, by J.L Guerra, Jr., President of Integrated Asset Management, Inc., a Texas Corporation, General Partner of 196 Scenic Hills, Ltd., a Texas limited partnership, on behalf of said entities.



Melanie A. Pierce
Notary Public in and for the State of Texas

Commission Expiration Date: 2-16-2009

AFTER RECORDING, RETURN TO
196 SCENIC HILLS, LTD.
8000 IH-10 WEST, SUITE 700
SAN ANTONIO, TEXAS 78230

Doc# 200606044870
Pages 4
10/18/2006 2:41PM
Official Records of
COMAL COUNTY
JOY STREATER
COUNTY CLERK
Fees \$28.00



Joy Streater

Doc# 200606044870