

DEVELOPMENT TABULATIONS

TOTAL LAND AREA NET OF MCCORD RD R/W: 19.69 AC.±
CURRENT ZONING: OPS
BASE DENSITY ALLOWED UNDER OPS ZONING: 2.50 DU/AC.
TOTAL UNITS PROPOSED: 48
DENSITY PROPOSED: 47/19.69 AC = 2.44 DUA

OPEN SPACE TABULATION:

REQUIRED OPEN SPACE
15% REQUIRED OPEN SPACE: 2.95 AC
PROVIDED OPEN SPACE 1.2 AC.±
OPEN SPACE SQUARE: 3.9 AC.±
RURAL OPEN SPACE
QUALIFIED OPEN SPACE 5.1 AC.±
REMAINING OPEN SPACE: .97 AC.±
TOTAL GREEN SPACE AREA: 6.10 AC.±

LOT SIZE TABULATION

45' x 110'-115' LOTS: 28
60.2' x 120' LOTS: 20
TOTAL LOTS: 48

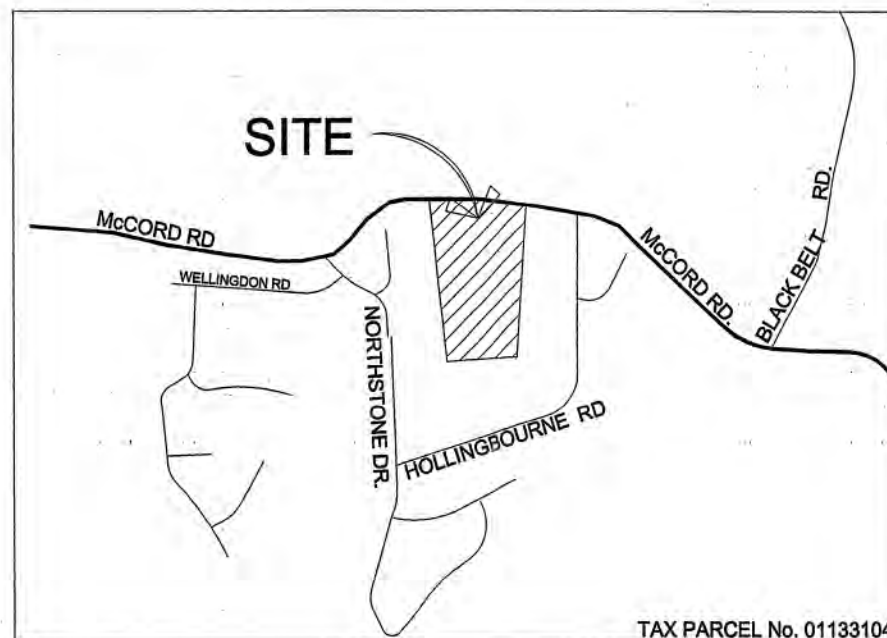
YARD SETBACK CHART

LOT SIZE (WIDTH)	MINIMUM BUILD TO LINE	MAXIMUM BUILD TO LINE	MIN. SIDE	MIN. REAR
45'	10'	15'	5'	25'
60.2'	10'	20'	5'	25'

* ALL CORNER LOTS SHALL HAVE A MINIMUM 10' SIDEYARD.

DEVELOPMENT NOTES

- Developer will preserve existing, large caliper (over 6" DBH) and estate size trees in the open space park and will follow tree preservation measures as described in ARTICLE 7 of the Huntersville Ordinance. Tree Protection Fencing shall be used around the driplines of such trees. Tree save areas are labeled on the plan and are also subject to Article 7 of the Huntersville Ordinance.
- Access (ingress/egress) locations and design shown on this sketch plan are subject to achieving vertical and horizontal sight distance(s), turn lane improvements (including right-of-way) and interaction with adjacent and opposing access points. Modifications to plan may result. Direct access from lots to a thoroughfare is prohibited.
- Mailboxes, mail kiosks, and dumpster cans will be grouped where on street parking is provided and will be strategically located to be accessible for postal deliveries, garbage collection and residences.
- Alleys right-of-ways are to be publicly accessible, however maintenance will be the responsibility of the developer/HOA.
- All signs shall be reviewed and permitted separately.
- Developer will provide a landscape buffer utilizing indigenous plant material in the open space along McCord Road. The landscape buffer will be planted in a random fashion as to create a forested edge. The landscape buffer will act as an opaque screen for the lots that back up to McCord Road. Regarding the lots that face McCord Road, the landscape buffer will not be planted as an opaque screen, as its intent is to partially screen the view from McCord Road. A Schematic representation of this planting has been illustrated on the plan. A specific planting plan will be developed in conjunction with the Huntersville Planning Staff.
- If adjacent to a thoroughfare - Direct access from lots to a thoroughfare/collector street is prohibited.
- Build to Line - A line extending through a lot, which is generally parallel to the front property line and marks the location from which the principle vertical plane of the front building elevation must be erected; intended to create an even building facade line on a street.
- On lots greater than 80 feet in width, front-loading garages shall be recessed at least 10 feet behind the primary plane of the front facade of the structure. Exception for single family detached dwellings with 1400 square feet or less of heated space: single bay front loading garages may be built flush with, but may not project in front of, the primary plane of the front facade of the structure; double bay front loading garages shall be recessed at least 10 feet behind the primary plane of the front facade of the structure.
- On lots 60 feet or less in width, alley access is required if on-site parking is provided.
- Large maturing street trees will be planted a maximum of 40' on center within the required planting strip along all streets with the exception of rural parkways where existing trees can satisfy the street tree requirement. Small maturing trees are to be used where overhead power lines exist.
- All alleyways shall be open for general usage by the public but shall not be accepted by the public for maintenance. Maintenance shall be the responsibility of developer/association of owners.
- 158 Street Trees to be planted on local streets.
- All applicable Federal, State, and Local environmental permits and approvals will be obtained by the developer.



- L-1 COVER SHEET
- L-2 EXISTING CONDITIONS
- L-3 LAYOUT PLAN
- L-4 EROSION CONTROL PLAN
- L-5 GRADING PLAN
- L-6 ROAD PROFILES
- L-7 ROAD PROFILES
- L-8 STORM DRAINAGE PLAN
- L-9 DRAINAGE AREA MAP
- L-10 EROSION CONTROL DETAILS
- L-11 PLANTING PLAN
- L-12 MAILBOX AND TRASHCAN PLAN

DEVELOPER:

WEBB CLEMENTS, Inc.
4110 OLD PINEVILLE RD.
CHARLOTTE, NC 28217
(704) 945-0374

LANDSCAPE ARCHITECT:

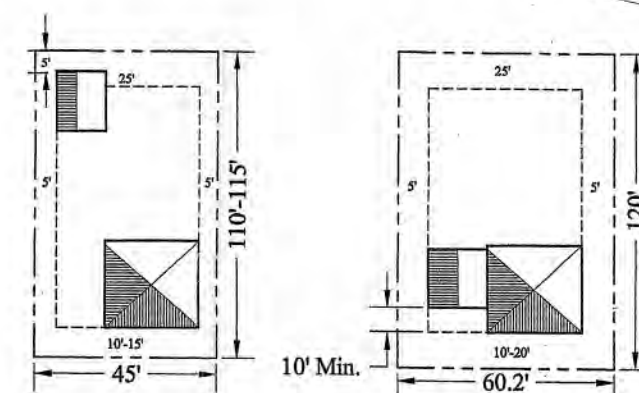
LANDDESIGN, INC.
223 N. GRAHAM ST.
CHARLOTTE, NC 28203
(704) 333-0325

CIVIL ENGINEER:

LANDDESIGN, INC.
223 N. GRAHAM ST.
CHARLOTTE, NC 28203
(704) 333-0325

SURVEYOR:

LANDDESIGN SURVEYING
223 N. GRAHAM ST.
CHARLOTTE, NC 28203
(704) 333-0325



TYPICAL LOT A: 45' x 110'-115'
Lot size: 4950'-5175' SF
Frontage: 45' minimum
Build to Line: 10'-15'
Side Yard: 5'
Rear Yard: 25'

Lots less than 60' in width to be alley-accessed. No front loaded garages. Detached garage setback from alley ROW min. 5'.

TYPICAL LOT B: 60.2' x 120'
Lot size: 7224 SF
Frontage: 60.2' (minimum)
Build to Line: 10'-20'
Side Yard: 5'
Rear Yard: 25'



Arbor Croft
Webb Clements, Inc.
Huntersville, NC

Cover Sheet

REVISIONS

01/09/01
Site Plan Revisions
07/13/01 REMOVED ROAD
8-20-01 added cul-de-sac

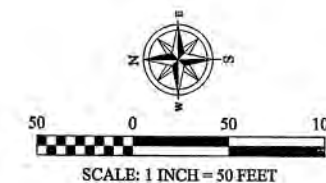
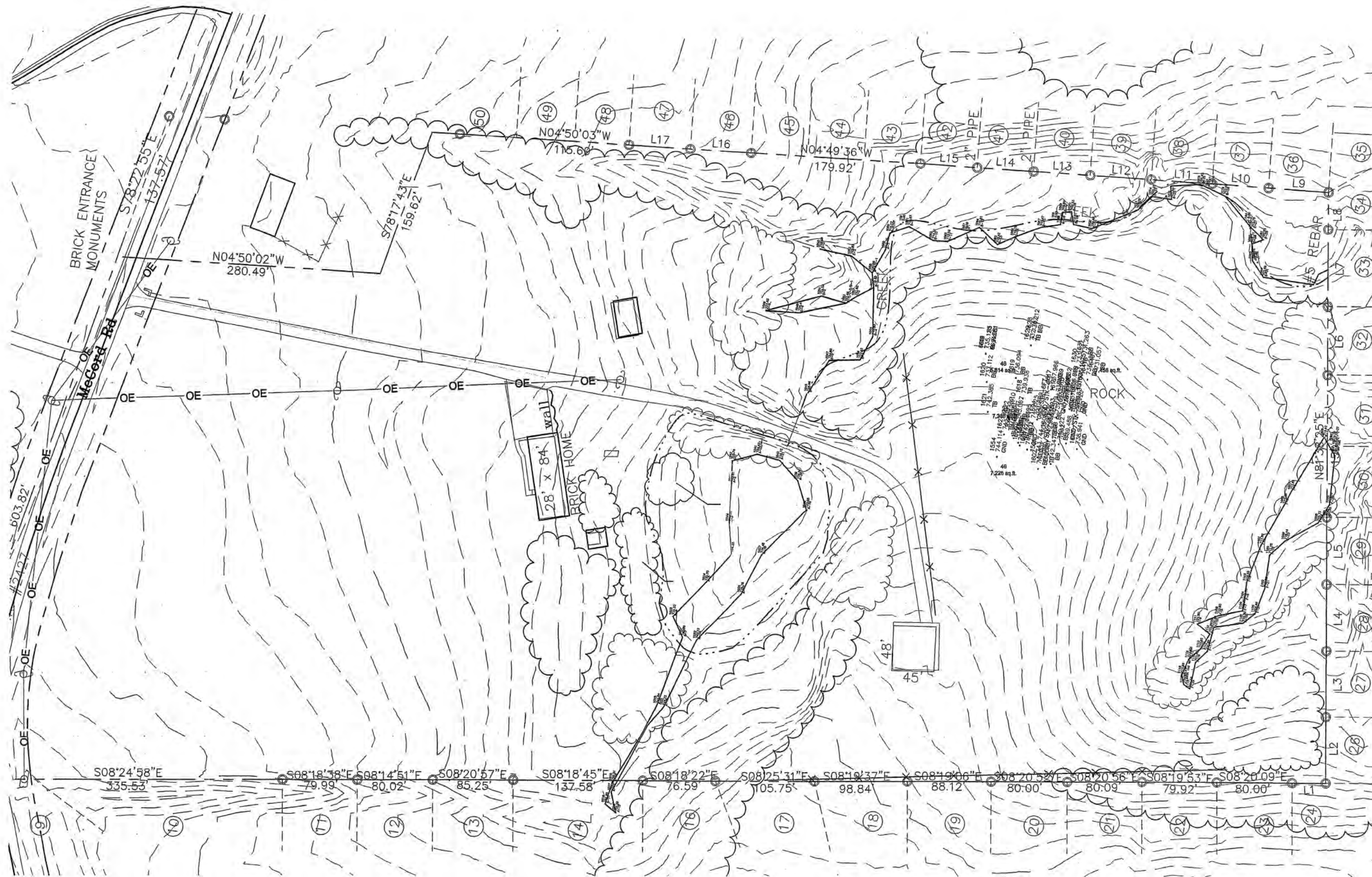
DATE: 07/13/01
DES. JWC DWN.
SCALE:
PROJECT/FILE NO.
1000212
SHEET NO.
SHEET 1 OF 12

FILE: 1000212.DWG/212rev.dwg

Land Design
LANDDESIGN, INC.
CORPORATE SEAL
NORTH CAROLINA
308
LAND DESIGN, INC.
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
1000212.dwg
7/13/01
JWC
DWN.
1000212.dwg
7/13/01
JWC
DWN.
1000212.dwg
7/13/01
JWC
DWN.



PREPARED BY
POWER ENGINEERING COMPANY, INC.
ENGINEERS - PLANNERS - SURVEYORS
9731-A SOUTHERN PINE BOULEVARD CHARLOTTE, NORTH CAROLINA 28273
PHONE (704) 525-7275 FAX (704) 525-2515



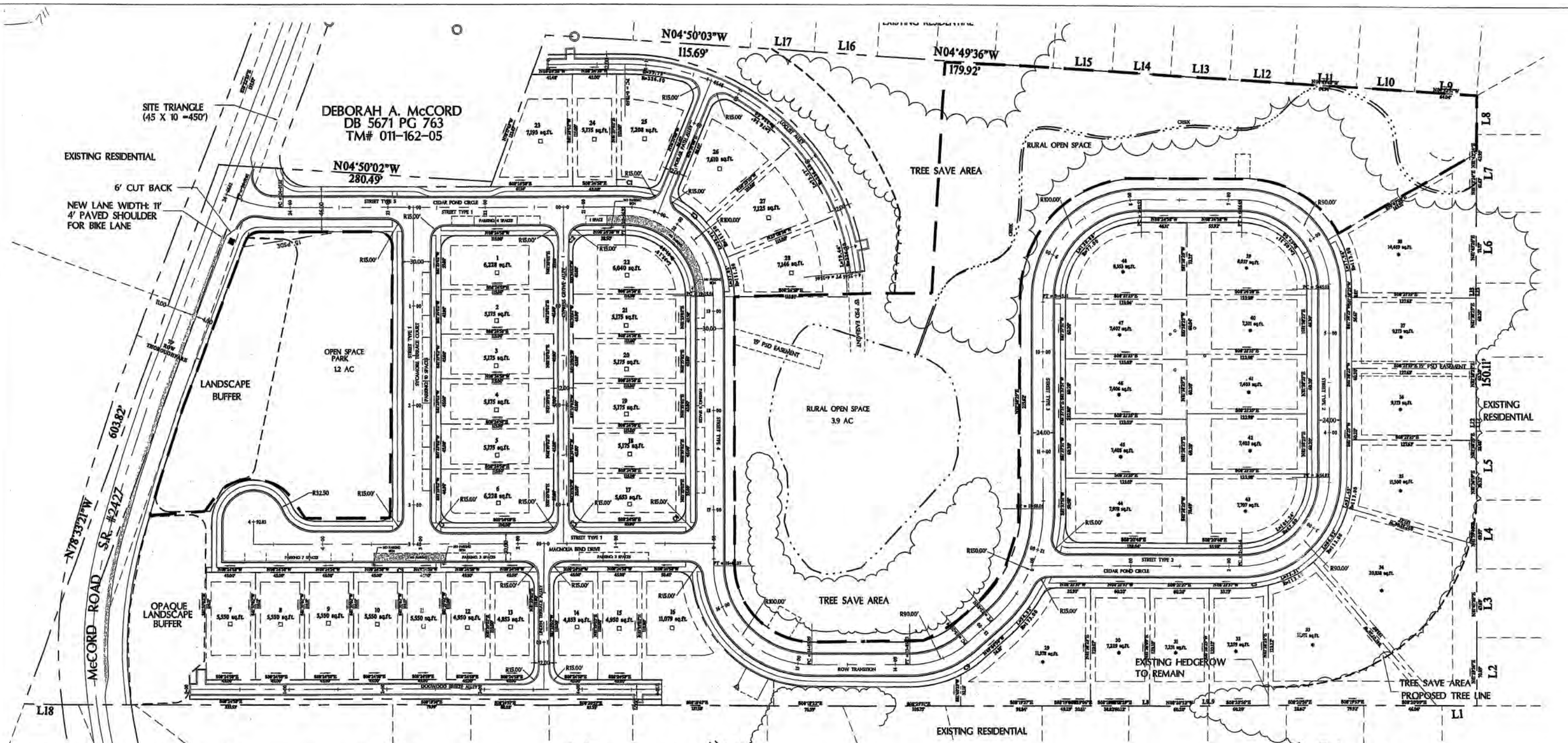
REVISIONS
01/05/01
Site Plan Revisions

DATE: 01/05/01
DES. JWC DWN. JWC
SCALE: 1" = 50'
PROJECT/FILE NO. 1000212
SHEET NO. SHEET 2 OF 12

Arbor Corft
Webb Clements, Inc.
Huntersville, NC

Site Analysis

LandDesign, Inc.
Land Planning
Civil Engineering
Urban Design
1411 W. 10th St., Suite 100, Raleigh, NC 27601
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OPEN SPACE TABULATION:

REQUIRED OPEN SPACE: 2.95 AC
 15% REQUIRED OPEN SPACE:

PROVIDED OPEN SPACE: 1.2 AC.±
 OPEN SPACE PARK: 3.9 AC.±
 RURAL OPEN SPACE:

QUALIFIED OPEN SPACE: 5.1 AC.±
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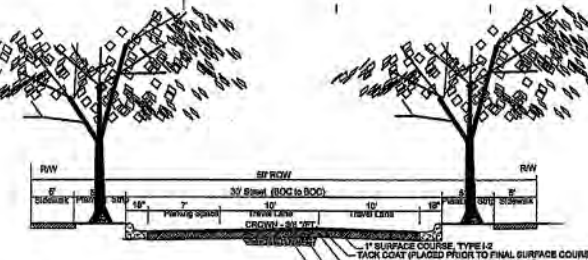
OTHER NOTES

158 STREET TREES, 52 BUFFER TREES: 210 TOTAL TREES ON STREET PARKING TO BE DESIGNATED BY SIGNAGE SPEED LIMIT OBSERVED SHALL NOT EXCEED 25 MPH

YARD SETBACK CHART

LOT SIZE (WIDTH)	MIN. FRONT	MAX. FRONT	MIN. SIDE	MIN. REAR
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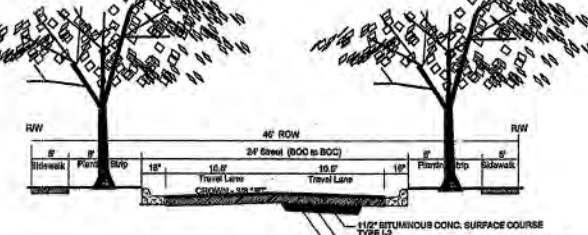
* ALL CORNER LOTS SHALL HAVE A MINIMUM 10' SIDERYARD.



LOCAL STREET- TYPE ONE (Parallel parking - one side of street)

NOT TO SCALE

NOTES: SEE CHILD DETAIL, 4" @ 40/40/40 (TREES), 10/35 (HANDICAP RAMP), AND 10/35 (1" CURB AND GUTTER)



LOCAL STREET- TYPE TWO (Parallel parking - both side of street)

NOT TO SCALE

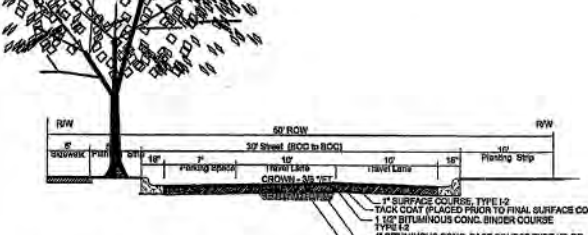
NOTES: SEE CHILD DETAIL, 4" @ 40/40/40 (TREES), 10/35 (HANDICAP RAMP), AND 10/35 (1" CURB AND GUTTER)



LOCAL STREET- TYPE THREE (Sidewalk one side of street only)

NOT TO SCALE

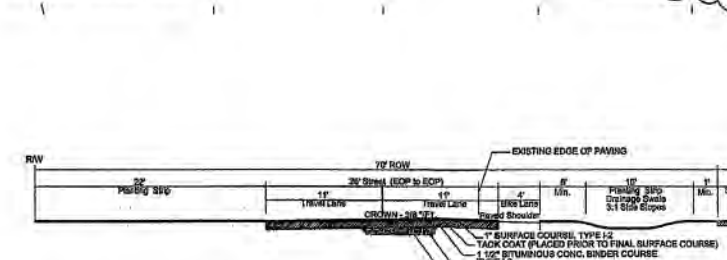
NOTES: SEE CHILD DETAIL, 4" @ 40/40/40 (TREES), 10/35 (HANDICAP RAMP), AND 10/35 (1" CURB AND GUTTER)



LOCAL STREET- TYPE FOUR (Parallel parking - one side of street and sidewalk one side of street)

NOT TO SCALE

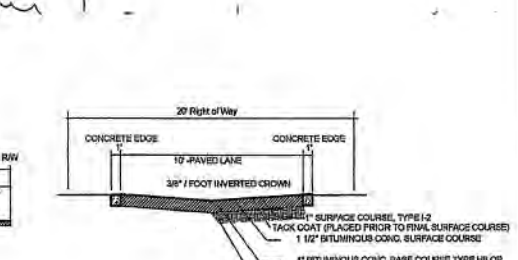
NOTES: SEE CHILD DETAIL, 4" @ 40/40/40 (TREES), 10/35 (HANDICAP RAMP), AND 10/35 (1" CURB AND GUTTER)



MCCORD ROAD (Bike Lane and Sidewalk on same side of street)

NOT TO SCALE

NOTES: SEE CHILD DETAIL, 4" @ 40/40/40 (TREES), 10/35 (HANDICAP RAMP), AND 10/35 (1" CURB AND GUTTER)



NEIGHBORHOOD ALLEY

NTS

NOTES: SEE CHILD DETAIL, 4" @ 40/40/40 (TREES), 10/35 (HANDICAP RAMP), AND 10/35 (1" CURB AND GUTTER)



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 Land Planning
 Civil Engineering
 Urban Design
 Landscape Architecture

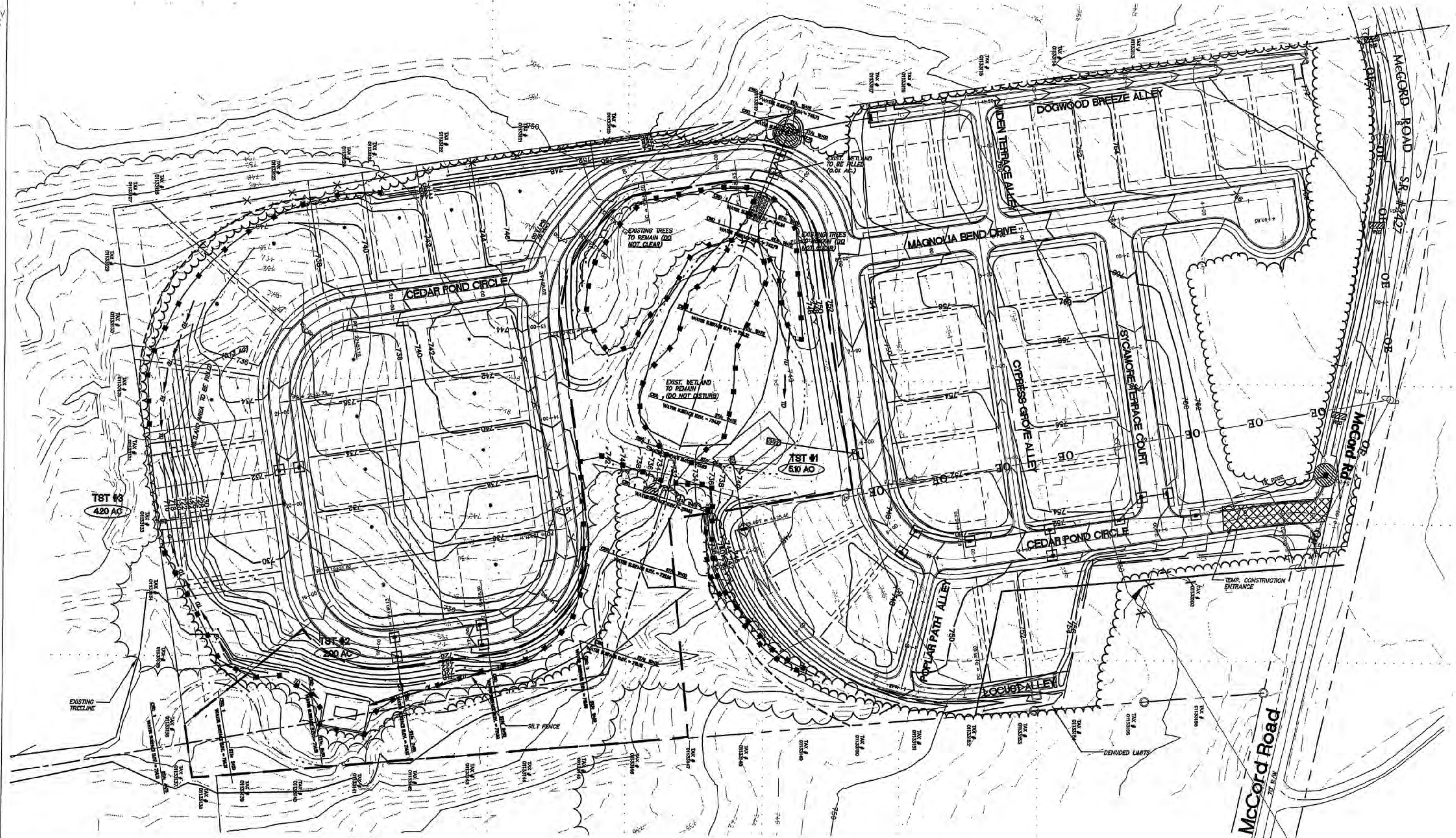


Arbor Croft
 Webb Clements, Inc.
 Huntersville, NC

Layout Plan

REVISIONS
 01/05/01
 1/13/01 REMOVED ROAD
 2/20/01 add cul-de-sac
 9/10/01 ALLEY NAMES

DATE: 01/11/01
 DBS: JUC
 DWG: JUC
 SCALE: 1" = 50'
 PROJECT/FILE NO.: 1000212
 SHEET NO.:
 SHEET 3 OF 12
 FILE: 1000212.DWG/1015.dwg



LEGEND

DRAINAGE STRUCTURE

FABRIC DROP INLET PROTECTION (AT ALL INLETS EXCEPT AS NOTED)

SEDIMENT TRAP

TEMP. SEDIMENT TRAP

TEMP. ROCK DAM

FLARED END SECTION (FES)

STONE RIP RAP

SILT FENCE/TREE PROTECTION

STONE INLET SEDIMENT TRAP

TEMP. DIVERSION DITCH

LIMITS OF DISTURBANCE

DRAINAGE AREA

EDGE OF CLEARING

4.17 AC

TOTAL DENUED AREA = 16.0 Ac.

GENERAL NOTES:

1. DRAIN THE EXISTING POND OVER A 24 HR. PERIOD BEFORE BEGINNING THE GRADING ON THE DAM.
2. THE WETLAND AREAS TO BE DISTURBED WITH FILL WILL BE LESS THAN 0.3 AC. ALL THE WETLAND AREAS BEING FILLED WILL NEED TO BE UNDERCUT TO A STABLE BASE OR A GEOTECH WILL NEED TO INSTRUCT HOW TO STABILIZE THE AREA. AREAS WITH EXCESS WETNESS, GEOTECH WILL NEED TO INSTRUCT IN HOW TO DE-WATER THE AREA.
3. REFER TO EROSION DETAIL SHEET FOR DIMENSIONS OF SEDIMENT BASINS.

Land Design

0164 NW 10th St., Suite 100, Fort Lauderdale, FL 33304
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LandDesign, Inc.

Land Planning
Urban Design
Landscape Architecture
Civil Engineering

North Arrow

Professional Engineer Seal
State of North Carolina
Seal 22837
Brenton Wheatley
7/11/01

Arbor Croft
Webb Clements, Inc.
Huntersville, NC

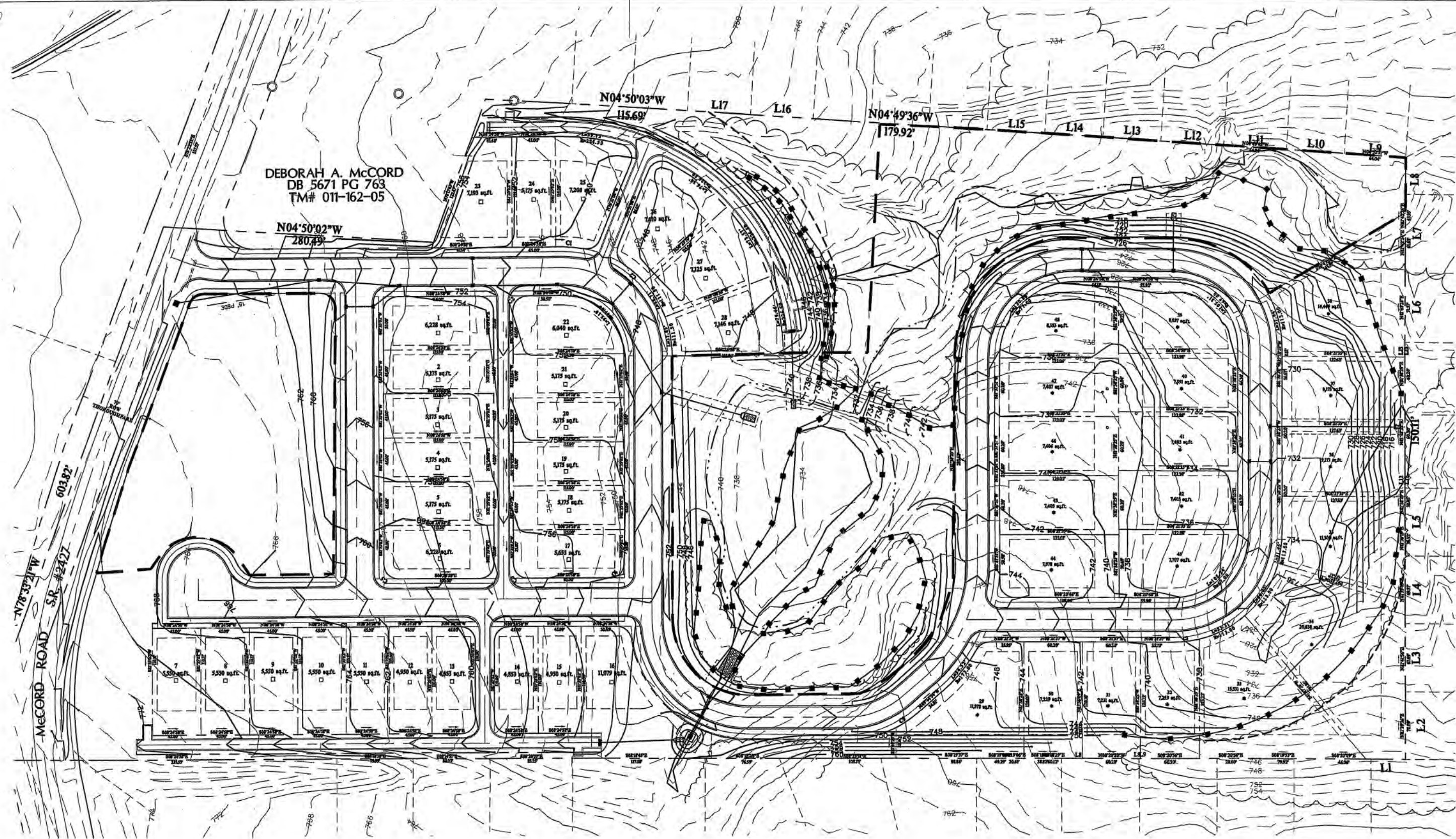
EROSION CONTROL PLAN

REVISIONS

8/22/01 ADDED CUL-DE-SAC AND REGRADED THE AREA

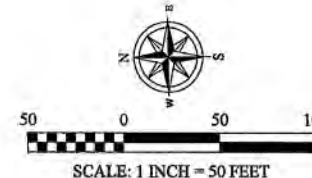
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PROJECT/FILE NO. 1000212	
SHEET NO.	
SHEET 4 OF 12	

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Legend

—●— Silt fence/Tree protection



REVISIONS

DATE	BY	DESCRIPTION
01/05/01	JUC	Site Plan Revisions
8-20-01	JUC	Added cul-de-sac
9/1/01	JUC	Added tree pr.

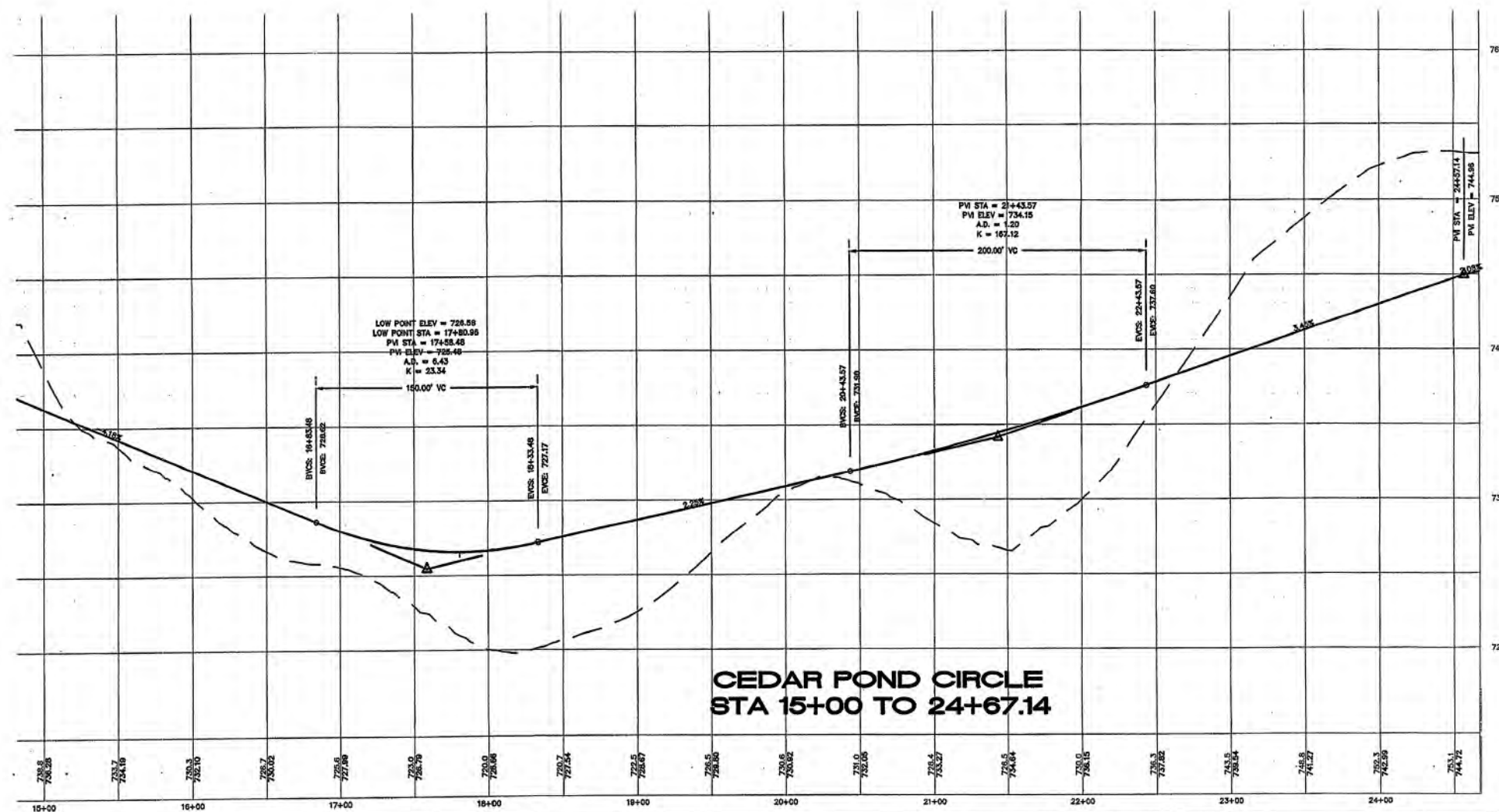
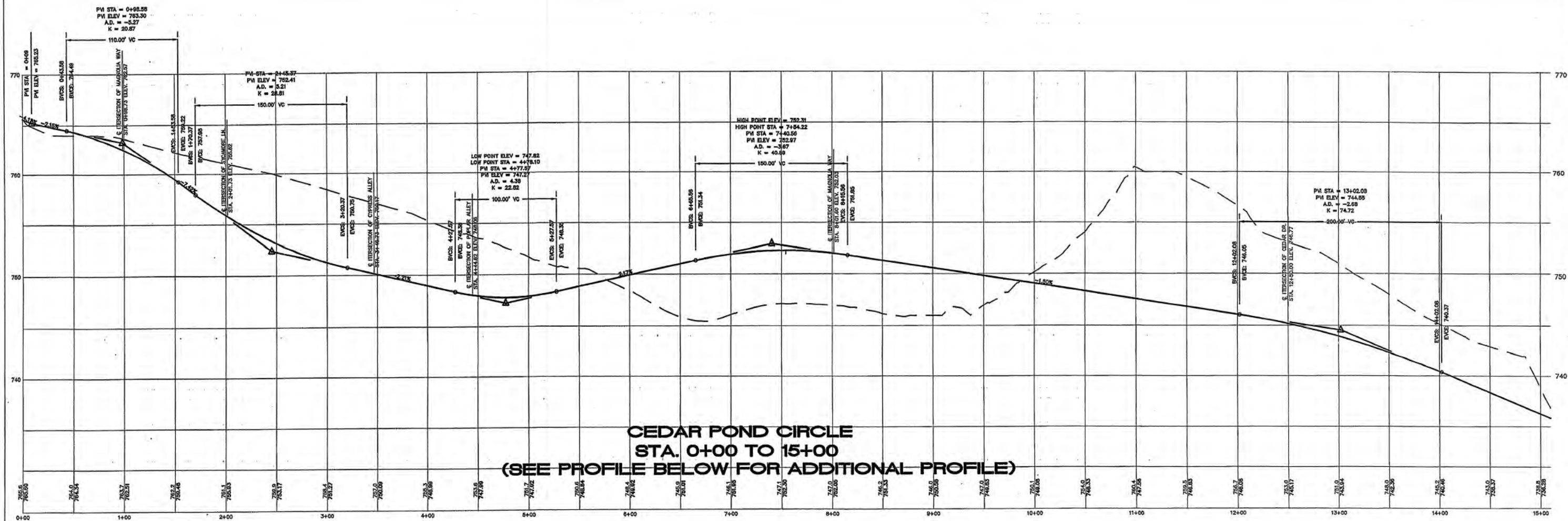
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DES.	JUC
DWN.	JUC
SCALE	1" = 50'
PROJECT/FILE NO.	1000212
SHEET NO.	5 OF 12

Arbor Croft
Webb Clements, Inc.
Huntersville, NC

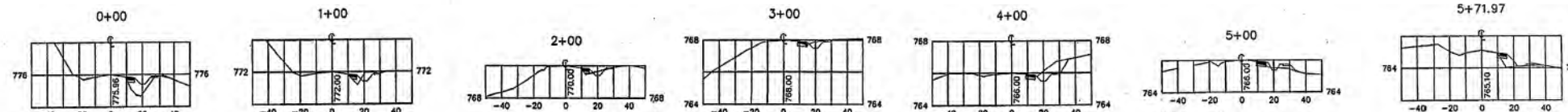
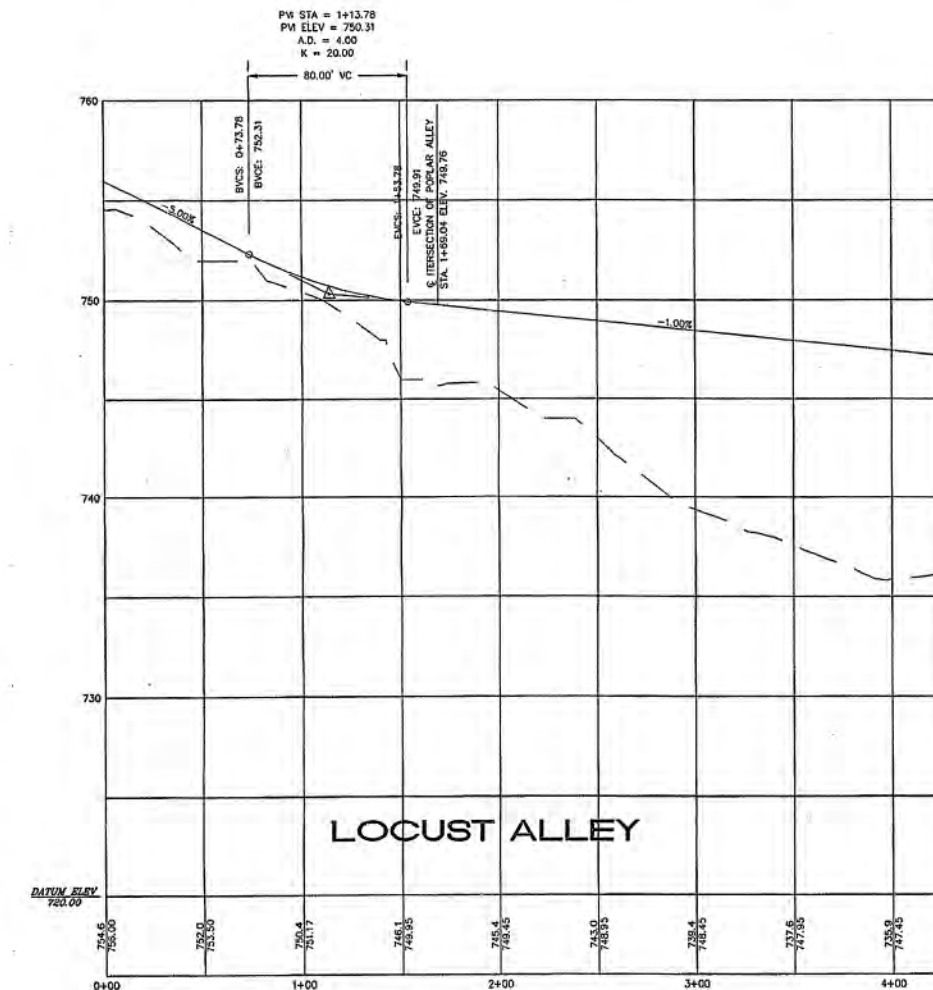
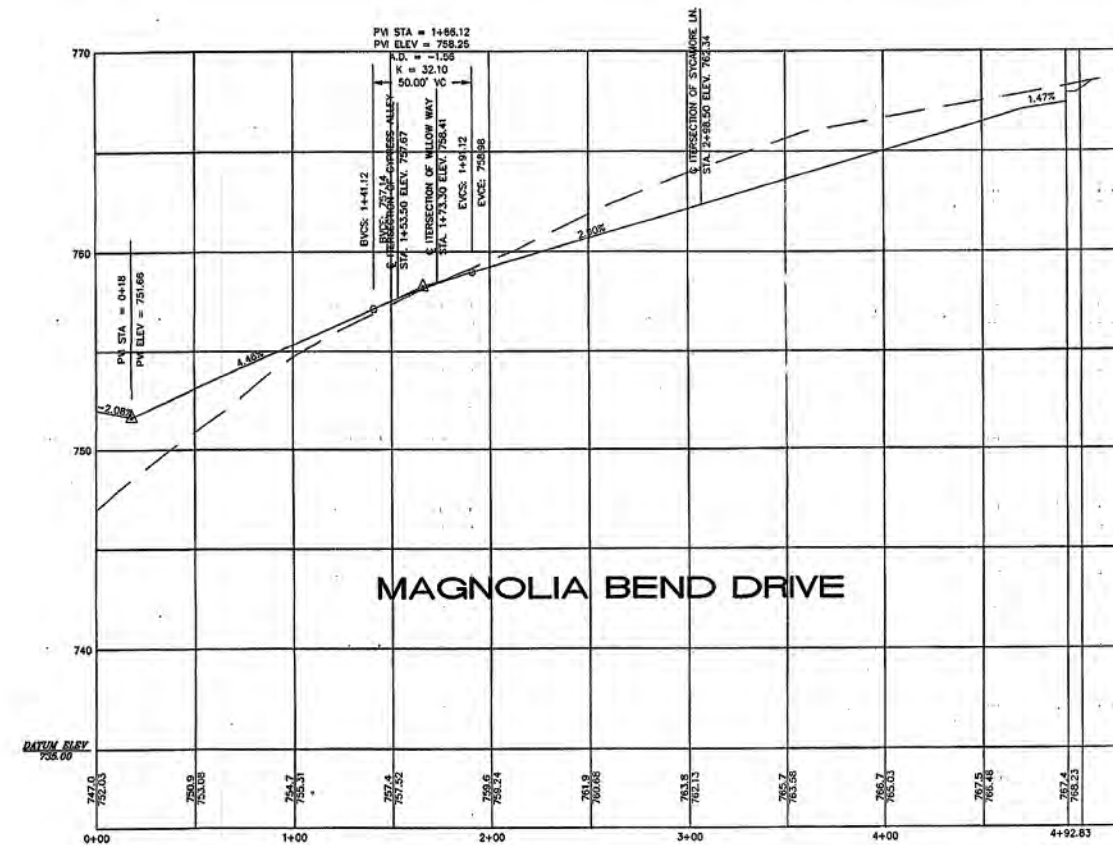
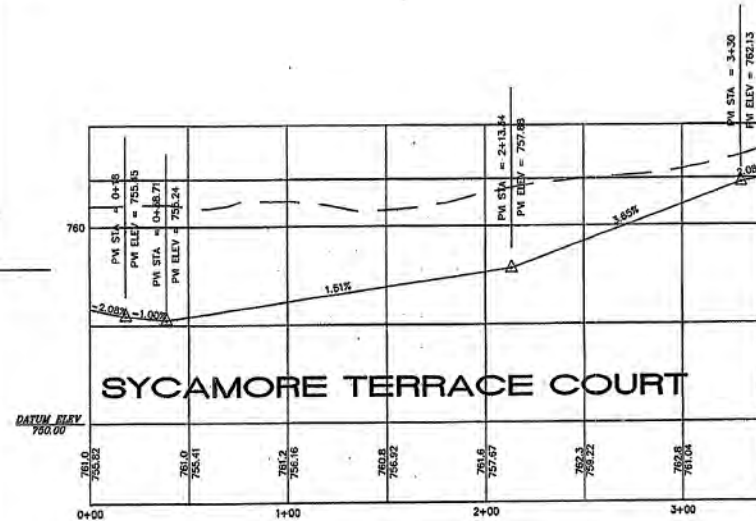
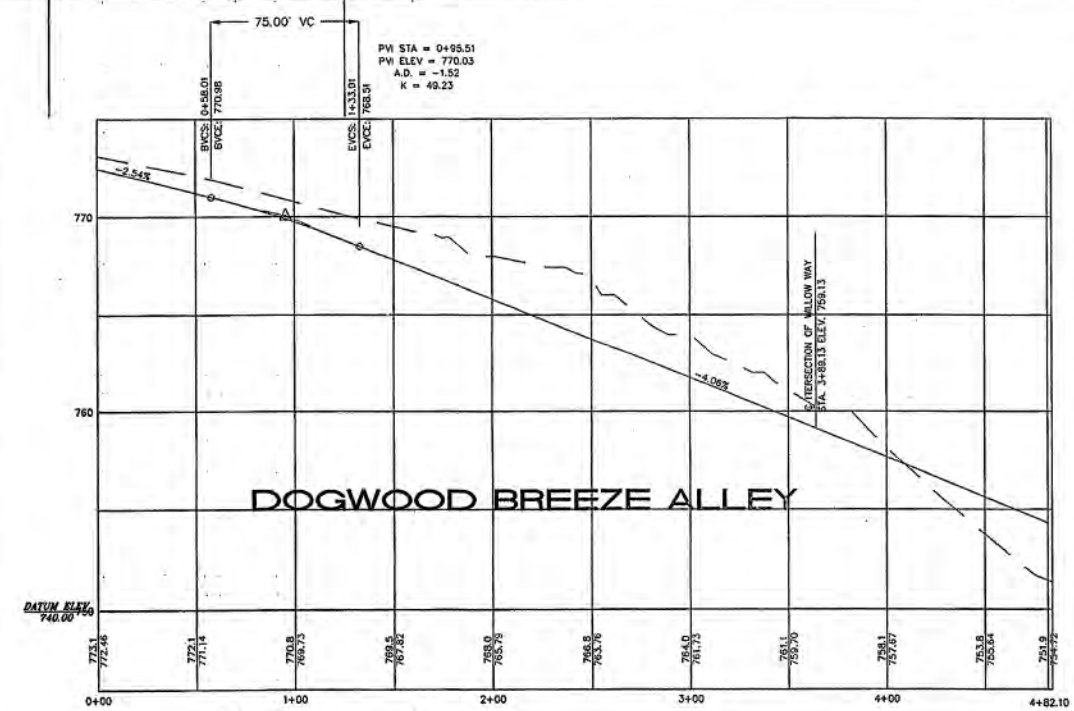
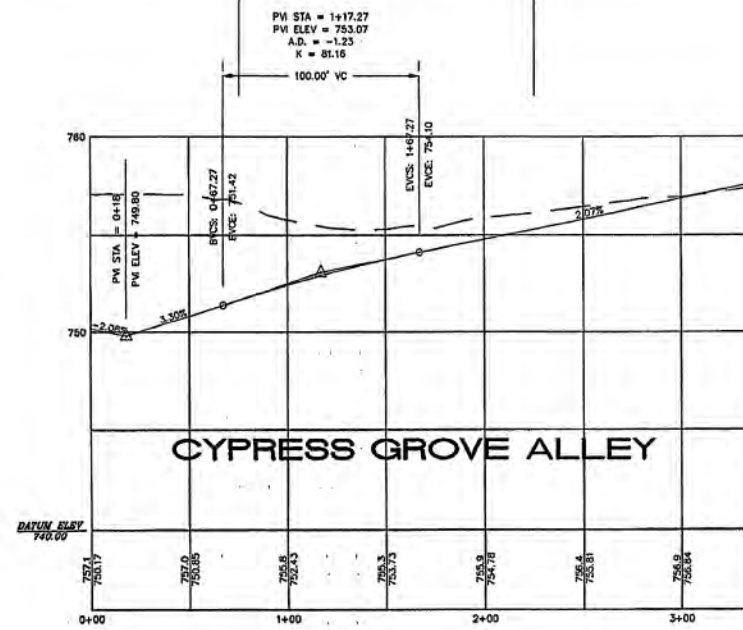
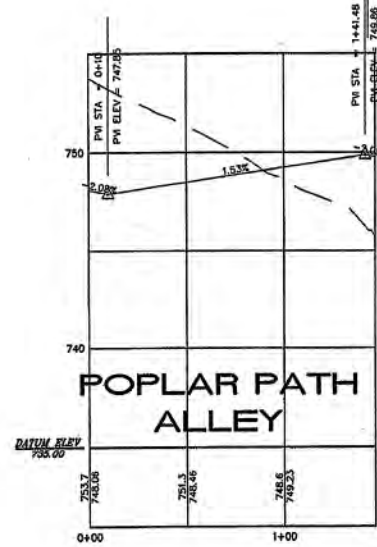
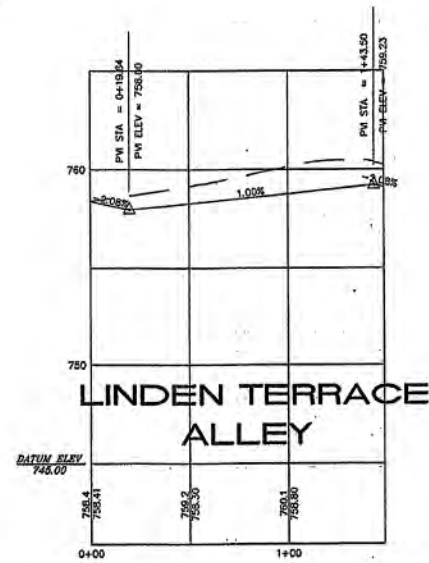
Grading Plan



LandDesign, Inc.
Land Planning
Civil Engineering
Land Design



715



SEE TYPICAL SECTION ON SHEET 3 OF 12

ROAD PROFILE PLAN

Arbor Croft
Webb Clements, Inc.
Huntersville, NC

REVISIONS

DATE: July 2001	DWN. TAB
SCALE: 1"=50'H/1"=5'V	PROJECT/FILE NO. 1000212
SHEET NO. 7 OF 12	FILE: 1000212.dwg

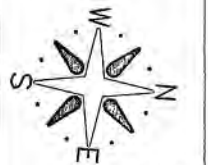
Land Design, Inc.
Landscape Architecture
Civil Engineering
911/11/01

CLARKS CREEK DR.

SHAMLEY CT.

1 MAR 1
542

LandDesign, Inc.
Land Planning
Landscape Architecture
Urban Design
Civil Engineering



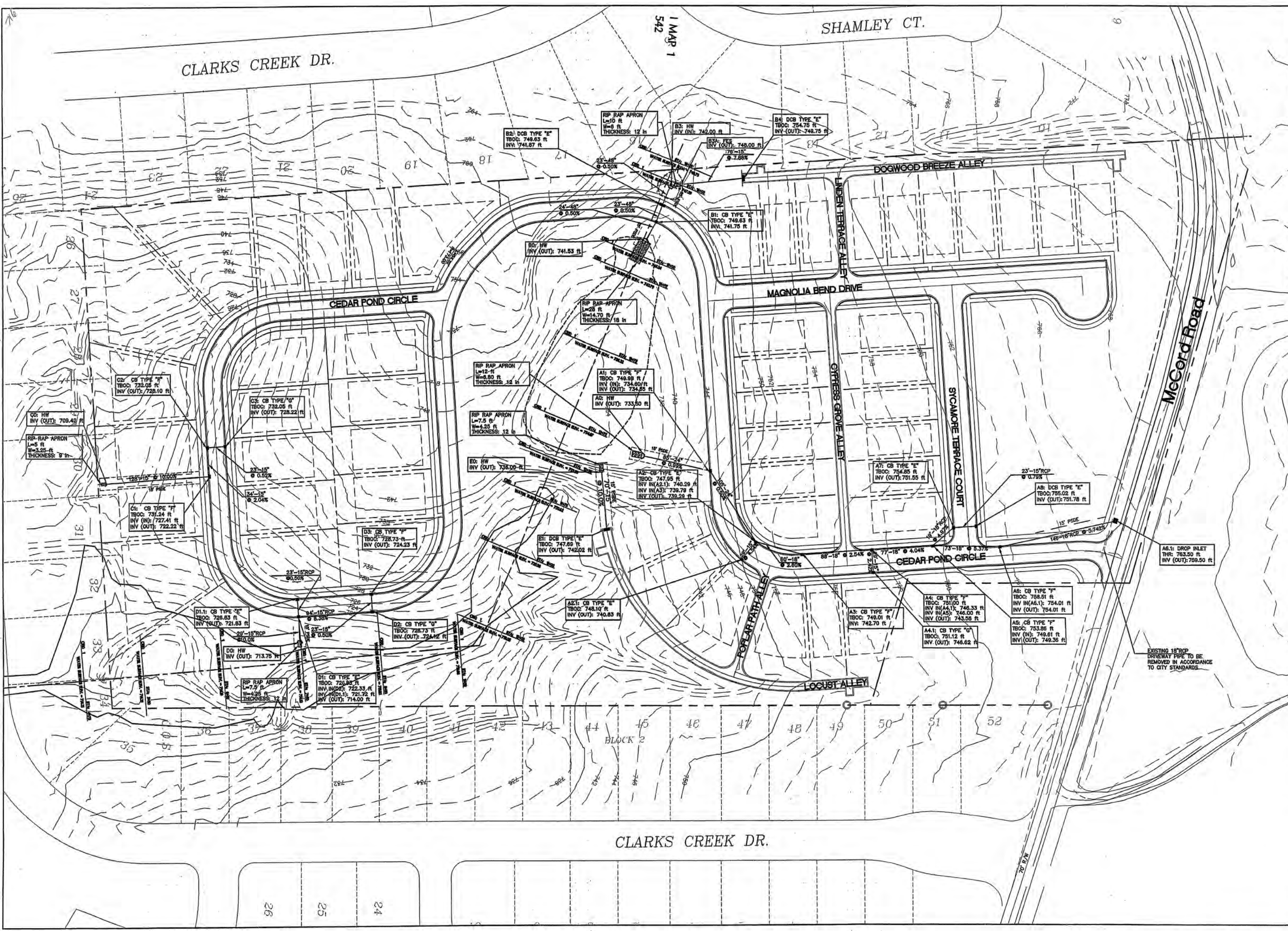
Arbor Croft
Webb Clements, Inc.
Huntersville, NC

STORM PLAN

- REVISIONS
1. REDLINE COMMENTS - 7/5/01
 2. CHANGED ROAD - 7/20/01
 3. ADDED CUL-DE-SAC - 8/22/01
 4. REVISED STORM PER COUNTY ENG. - 9/05/01

DATE: July 2001	
DWS. JWC	DWN. JWC
SCALE: 1" = 50'	
PROJECT/FILE NO. 1000212	
SHEET NO. SHEET 8 OF 10	

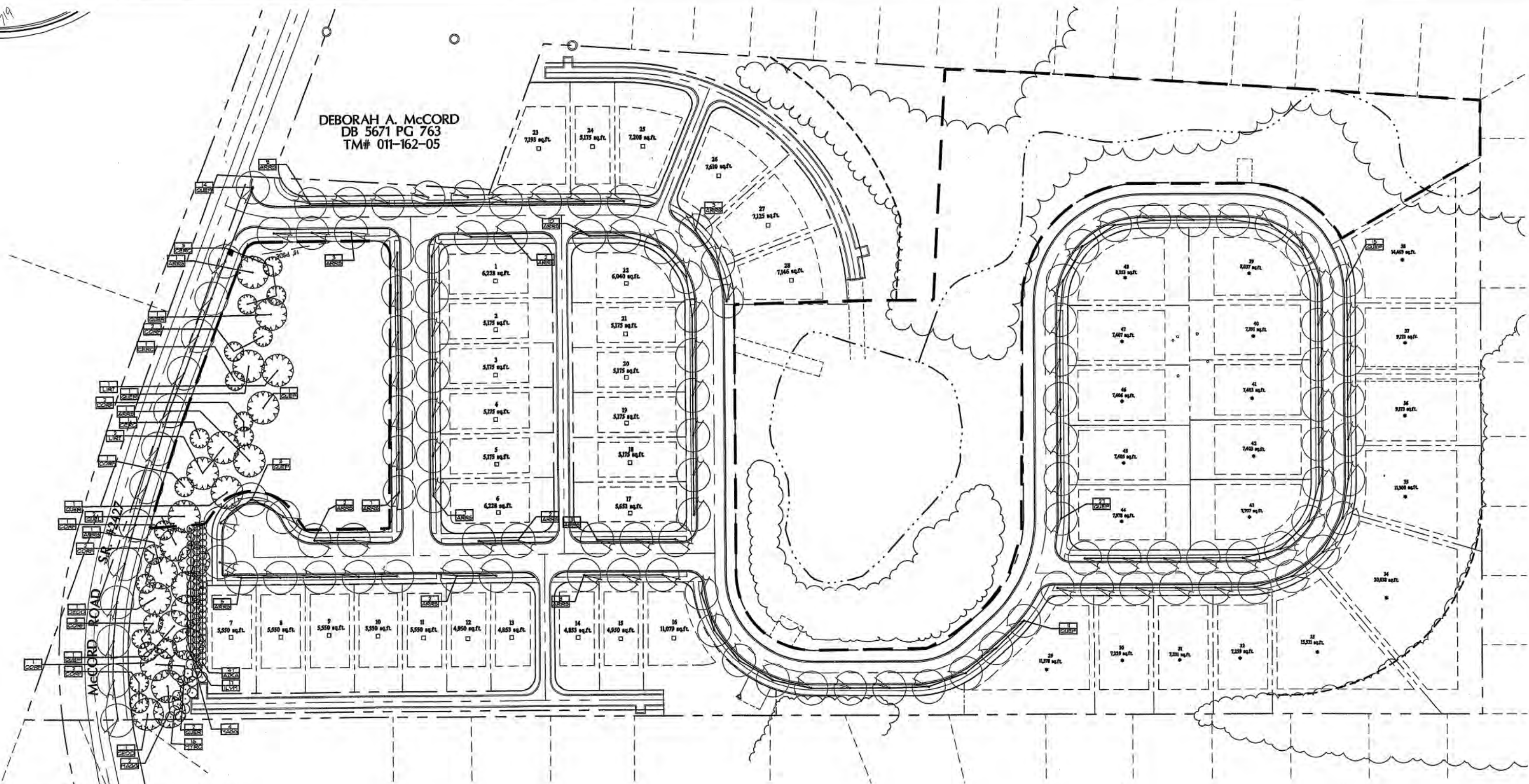
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McCord Road

CLARKS CREEK DR.

DEBORAH A. McCORD
DB 5671 PG 763
TM# 011-162-05



MASTER NORTH CAROLINA PLANT LIST

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HGT.	COND.	NOTES
ARRS	61	Acer rubrum 'Red Sunset' Red Sunset Maple	LMD	2 1/2"-3"	12'-14'	B&B Match Specimen
CEDD	2 *	Cedrus deodora Deodora Cedar	LME	2 1/2"-3"	8'-10'	B&B Match Specimen
CERC	5	Cercis canadensis Eastern Redbud	SMD	1 1/2"-2"	8'-10'	B&B White Flower
CORF	13	Cornus florida Flowering Dogwood	SMD	1 1/2"-2"	8'-10'	B&B White Flower
LIRT	3	Liriodendron tulipifera Tuliptree	LMD	2 1/2"-3"	12'-14'	B&B Strong leader
MAGG	6*	Magnolia grandiflora Southern Magnolia	LME	2 1/2"-3"	12'-14'	B&B Match Specimen
QUEL	2 *	Quercus laurifolia Laurel Oak	LME	2 1/2"-3"	12'-14'	B&B Match Specimen
QUEP	56	Quercus phellos Willow Oak	LMD	2 1/2"-3"	12'-14'	B&B Match Specimen
QUER	5	Quercus rubra Northern Red Oak	LMD	2 1/2"-3"	12'-14'	B&B Single trunk, strong leader

Quantities indicated are for estimation purposes only and may not be all inclusive.
Contractor shall make quantity take-offs using drawings and specifications to
determine quantities to his satisfaction, reporting promptly any discrepancies that may affect proposals.

* Asterisk denotes evergreen plants used to fulfill the opaque buffer requirement

SYMBOL	QTY.	SCIENTIFIC NAME COMMON NAME	CAL.	HGT.	COND.	NOTES
SHRUBS						
AZKA	47 *	Azalea kaempferi Kaempferi Azalea			3 gal.	Matched, full specimens
ILVM	17 *	Ilex vomitoria Evergreen Holly			3 gal.	Matched, full specimens
MYRC	16 *	Myrica cerifera Wax-Myrtle		7'-8'	B&B	Matched, full specimens

NOTE: All Shrubs must be 3' tall min. at time of planting

OPAQUE BUFFER REQUIRED PLANTING

200 LINEAR FEET OF OPAQUE BUFFER
20 LARGE MATURING TREES REQUIRED
10 EVERGREEN TREES REQUIRED

40 SHRUBS/100 LINEAR FEET
200 LINEAR FEET = 80 SHRUBS REQUIRED

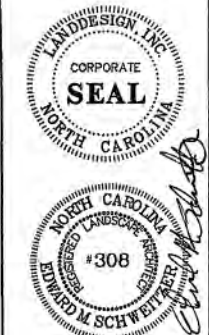


REVISIONS
01/05/01
Site Plan Revisions
1/13/01 REMOVED ROAD
8/20/01 culdesac

DATE: 01/05/01
DWS. JUC DWN. JUC
SCALE: 1" = 50'
PROJECT/FILE NO. 1000212
SHEET NO. SHEET 11 OF 12
FILE G:\1000212\dwgs\12plan1.dwg

Arbor Croft
Webb Clements, Inc.
Huntersville, NC

Planting Plan



LandDesign, Inc.
Landscape Architecture
Land Planning
Civil Engineering
Urban Design
10000 W. Blvd. St. Matthews, NC 28105
704/261-1100
11000 W. Blvd. St. Matthews, NC 28105
704/261-1100
11000 W. Blvd. St. Matthews, NC 28105
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704/261-1100

